

Christ Church, New Seaham

Diocese of Durham
Archdeaconry of Sunderland
Deanery of Easington

Quinquennial Inspection Report
June 2025

Vicar: (vacant)



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Church	Quinquennial Inspection Report
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Date of Inspection	June 2025 Dry, sunny weather

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A Background and General	
A1	The church is situated on the north side of Station Road; some 300m to the east from the junction with the B1285. It is set behind a high stone wall, with dressed stone gate pillars (now gateless), with weathered mould cap. It is close to the road, with grounds laid mainly to grass. An extensive cemetery lies to the north east with separate amenity areas to the north of the Parish Hall. There is a Parish Hall to the west, sharing vehicular access from Station Road with the church. It is not within a Conservation Area. There are tarmacked car parking areas within the grounds, shared with the Parish Hall. Ordnance Survey map reference NZ 410 498 The previous QI noted that, in consultation with the Diocesan Archaeological Advisor and Local Authority Archaeologist, it is confirmed that the church and its site are of archaeological importance. An Assessment was prepared by Peter Ryder in 1993.
A2	The church, built in 1857 for Frances Anne, Marchioness of Londonderry (as a memorial to the Marquis) to designs attributed to P C Hardwick, in the Gothic Revival Style with geometrical tracery (see Appendix B, Fig. 16). A South Aisle was added in 1862. Roofs are steeply pitched Welsh slate roofs. The walls are of local snecked sandstone with sandstone dressings and stepped corner buttresses. There is a 4-bay Nave, single bay Chancel, North Aisle, South Aisle and South Porch all with stepped buttresses There is a projecting north Vestry. A 2-stage bellcote with 3 lancets and cross sits above the Nave west end.
A3	There is an organ in the east end of the north aisle and the lower panel incorporates the carved names of those lost in 20th century conflicts. The organ console sits facing west in the north aisle (William Hill & Son & Norman & Beard Ltd. 1926 – a major 20th century organ builder). The attached organ blower chamber and external store added later the chancel and vestry. Rendered brick and exposed blockwork with concrete roof.
A4	The 20th century boiler house on the north side, adjacent to the vestry door, is brick/cement rendered with a short brick rendered chimney, constructed after the adjacent colliery closure. The extension is slate roofed, at a low pitch. The render is in fair condition only. There is a lean to, 2-door shed to the east on the vestry in blockwork with a concrete roof (a poor quality historic addition). The original heating chamber sits beneath the north aisle at the east end. Piped hot water and electricity was originally provided from Seaham Colliery across Station Road (since demolished).
A5	There is a central walkway from the west to the east, ending at the chancel.
A6	There is a step at the transition from the nave to the chancel.
A7	The main aisle is carpeted in a piled red carpet. The southwest corner of the south aisle has had pews removed and is used as a coffee area. A run of simple cupboards, including a sink, occupies the west wall. In the northwest corner is a lobby and accessible WC of recent construction.

A8	Internally the church is spacious with an arcaded nave with 3 chamfered, pointed arches on octagonal piers with moulded caps and bases, and a smaller pointed arch to the west. A double chamfered, pointed chancel arch sits on 3 clustered columns with moulded caps and bases. The nave 'waggon' roof is of exposed, close braced timber with a painted, panelled roof to the chancel. Lean-to aisle roofs are timber with exposed rakers, purlins, rafters and boarded sarking. The vestry roof is of concealed timber, dual pitched. Wall surfaces are finished with plasterwork. Sandstone dressings are exposed.
A9	Externally, roofs are pitched and covered with even sized Welsh slates. The principal nave and chancel roofs appear to be of relatively recent age. The vestry roof (both pitches) has been repaired in the vicinity of the western valley (lead theft) with synthetic slates; elsewhere there are slipped slates. Eaves have stone water tables and decorative carved kneelers.
A10	Heating is by means of a gas fired boiler located in the separate boiler house, serving original cast iron pipework and radiators.
A11	Artificial lighting is by means of a combination of LED floodlights situated at arch and wall heads, halogen floods and individual spotlights in aisles, and fluorescent tubes in vestry.
A12	Christ Church is a Grade II listed building under the Town and Country Planning Act. The Planning Authority is Durham County Council. A copy of the Listing is attached to the Appendix of this Report.
B	Scope of Report
B1	This report, the first undertaken on this Church by the writer, is based on findings of two visits, undertaken in June/July 2025. The weather was generally good with dry days. Viewing was made from ground level and with the aid of binoculars. No ladder inspection was made externally or into either the roof void internally or belfry.
B2	A photographic record was made internally and externally of representative views.
B3	The tower and bellcote were not inspected at high level.
B4	See Appendix for a full description of the limitations of the Report.

1.0	WORKS CARRIED OUT SINCE PREVIOUS REPORT • Clearing gutters/downpipes and gullies • Minor repairs to roof slating, repointing of water tabling to chancel, valley gutter repairs (see Appendix B, Fig. 8) • Repointing of East wall and West wall in progress (Taylor Hastwell) • Glazing repair to church hall windows (Mar 2023) • Fitting of polycarbonate to church hall windows (Mar 2023) • Fire alarm test (April 2023) • Electrical services testing (May 2023) • Organ repair (July 2023) • Boiler service (Aug 2023) • Removal of storm damaged tree (Jan 2024) • Gas boiler repair (Feb 2024) • Repair to Church Roof (Mar 2024) • Locksmith (Apr 2024) • Lay new mains gas pipes (Aug 2024) • Repair to damaged gate posts (Sep 2024) • Fire Alarm testing (Feb 2025) • Gas boiler service and replacement of two taps (Mar 2025) • Slate repairs (Mar 2025) • Re-decoration of church hall, kitchen and prayer room (Feb 2025) • Maintenance and re-decoration of vestry (Mar 2025) • Maintenance and refurbishment of church doors (Jun 2025) • Making safe and removal of tree brought down in gale force winds (Jul 2025) • Removal of old gas cooker and installation of new gas cooker (Jul 2025) NOTE: Beyond previous QI report, records were not available. Refer to previous QI reports where needed.
2.0	GENERAL CONDITION OF CHURCH
2.1	There are significant areas of salts erupting through internal plaster surfaces on the north aisle around openings, to the full height of vertical surfaces. Elsewhere, on the south aisle eastern end there are similar salts erupting and internal window mullions to south aisle Lady Chapel have a curiously coloured, similar eruption (see Appendix B, Fig. 7). Elsewhere there is paint flaking or small salt eruptions, the former of which may be caused by interaction with previous coating materials. The external eastern face of the south aisle has significant areas of salts up to window springing. Elsewhere cement rich pointing has been used which, though intact, may have long term deleterious effects. Gutters, especially at nave level require maintenance.
2.2	Ongoing maintenance is required, and a list of recommended items is included in this Report.

EXTERNAL INSPECTION	
3.0	ROOF COVERINGS
3.1	Nave Roof: The Welsh slate coverings are in even courses and generally in good condition, with a few existing repairs. The ridge tiles are level, and the joints appear to be intact. There are some localised slipped slates to the northern vestry. Gutters and downpipes will need clearance and decoration, and where original cast iron gutters rest on a corbelled stone detail, internal watertightness should be carefully checked and proven.
3.2	North Aisle: Western gable open joints require pointing. Salts in internal timber may indicate water penetration South Aisle: Appears in very good condition including lead flashings to watertabling.
3.3	Vestry: Vestry roof has watertabling as elsewhere, but these need some localised repointing on their top surfaces.
3.4	Rainwater Goods: All in varied condition; may need redecorating. Annual cleaning out and testing is required.
4.0	GROUND DRAINAGE
4.1	There are a number of gullies at ground level, and these should be cleaned out and checked that they are free flowing. All gullies should be checked twice a year.
4.2	A number of downpipes are terminated above dished channels or directly over tarmac. Cracks or lack of adequate fall may result in water collecting at wall bases. This may result in rising dampness to walls without damp proof courses (see Appendix B, Fig. 13-14).
5.0	WALLS AND MASONRY
5.1	There is a marked contrast between stone walling and dressed work throughout, in terms of condition and air pollution effect. The only exception is the lower 1.2m of porch jambs/moulding, which have weathered surfaces and plinth.
5.2	The dark, weathered, dressed stonework is generally sound and well pointed (see Appendix B, Fig. 13) with some areas in need of repointing. Any future pointing should <i>not</i> be of the 'projecting struck' cement-based pattern evident in the south aisle. Lower areas of the west elevations have a cementitious pointing that should also be avoided.
5.3	North vestry elevation: A handrail and gate have been installed previously but require repainting.
5.4	Generally, all window sills and joints to be checked and repointed as required. There are a small number of open joints to the east window (sill/drip course) – see Appendix B, Fig. 12.
5.5	The accessible WC external walls are faced in untreated Douglas fir.

6.0	DOORS AND PORCH
6.1	The main entrance is from the south porch, whose door has recently been repainted, and is a framed, arched double door. There is level access to the church at this point.
6.2	The rear vestry door is sound but requires repainting. There are 4 no. steps leading to the door, with a handrail, but this need redecorating and the top step and others are worn and require pointing to the leading edge of the riser.
7.0	WINDOWS
7.1	Windows are mostly tall, narrow, lancet-headed windows with two lights. The west gable window has five lights and top tracery. Generally, stone mullions and tracery appear sound and intact. The north elevation to the vestry has three lights, with central light higher and a hoodmould. Some pointing is required in this vicinity. External window protection is in polycarbonate.
7.2	All glazing is leaded with applied lead cames (some missing to south aisle window). Frames are set directly into stonework. Vestry central light has been glazed with metal reinforced polycarbonate. Main window openings as follows: • 5-light nave west window with paired clerestory lights to bays • Plain lancets in chancel with 5-light east window • Paired lights with geometric tracery heads to north and south aisles • Groups of three quatrefoils above south porch door
7.3	Stained and figured glass is present in the following areas: • Chancel east window: 5-light lancet depicting 'the Last Supper' • Chancel south window: 2-light lancet • Lady Chapel east window: 3-light lancet with rose • 1885 window: by William Montgomery depicting 'the story of the Five Talents'. In memory of George Henry Vane-Tempest, 5th Marquess of Londonderry • Lady Chapel south window • Nave west window: 5-light lancet depicting 'Christ and the Gospel Saints' 1858, in memory of Charles William Vane, 3rd Marquess of Londonderry

INTERNAL INSPECTION	
8.0	ROOF STRUCTURE
8.1	Dual pitched waggon roofs with closely spaced braces to main nave space. Sarking boards, braced rafters, purlins, collars all exposed and painted/stained.
8.2	Panelled barrelled roof to chancel.
8.3	Painted softwood boards and cornice in vestry.
8.4	Northern aisle timber boarded ceiling shows signs of salts/ moisture penetration (see Appendix B, Fig. 6).
9.0	WALL FINISHES
9.1	4-bay early English arcades separating nave and aisle, with plain round abacus to stone columns having different neck sizes. Painted plaster walls generally with exposed stonework dressing. Internal paint surfaces appear in fair condition only. Efflorescence is extensive to the norther aisle and southern aisle, east gable.
9.2	There are efflorescent patches to northwest corner (accessible WC) at high level, and paint at high level.
9.3	Vestry wall and ceiling surfaces are covered by recently decorated timber match boarding.
10.0	GROUND FLOOR AND FINISHES
10.1	There is tongue and grooved flooring (softwood) under the (pine) pews in the nave and aisles, showing no signs of undue movement. Elsewhere, red pile carpet has been fitted with slight creasing at the junction of the nave aisle and entrance route, with stone paving to the south porch (see Appendix B, Fig. 10). There are iron gratings over heating pipes to the central passageway (concealed by carpet).
10.2	There is concrete flooring to the east end of the north aisle.
10.3	The is a solid chancel floor overlaid with carpet.
10.4	The vestry floor is plain boards.
11.0	FITTINGS, FIXTURES AND FURNITURE
11.1	Nave pews (stained pine) are in sound condition and fit for purpose. Choir pews are carved oak, in good condition, and sit within the nave.
11.2	The principal font is located in the north aisle, west end. The font drainage is not in use. There is also a moveable oak font located at the head of the north aisle.
11.3	The oak (pierced tracery) pulpit was added in 1927 and is in good condition.
11.4	The main organ elements are in the north aisle with frontage onto chancel and aisle, with separate console in north aisle.
11.5	There is an Eavestaff grand piano in the north aisle, in addition to an electric organ
11.6	The main altar in the sanctuary is oak-framed, with decorated panels and plinth, all in good condition. Behind the altar, the reredos is in decorated carved oak with pierced head. North, east and part of south elevation have oak panelling with carved detailing. Main altar rails, with decorative tracery, are all in sound condition.

11.7	The Lady Chapel contains a simple, smaller oak altar and oak rails, also in good condition.
11.8	There is an oak litany desk in use (carved/traceried). There is an oak Glastonbury chair and metal decorative lectern.
12.0	VESTRIES
12.1	The window glazing is all intact with a central light composed of metal reinforced polycarbonate.
12.2	The walls and ceiling are recently decorated timber match boarding. There is a ceiling access hatch (not accessed on this occasion).
12.3	There are built-in cupboards on the east side.
12.4	There are two safes located in the vicar's vestry.
13.0	MONUMENTS
13.1	Mine disaster at Seaham Colliery 1880 – inscription in recovered timber beam on north aisle wall including miner's lamp. There is also a memorial plaque with list of miners lost and miner's banner in the north aisle.
13.2	Organ panel memorial commemorating Great War dead, 1914-1918.
13.3	Brass memorial to east window of Lady Chapel commemorating Marquis of Londonderry.
14.0	HEATING INSTALLATION
14.1	The boiler (gas fired) is in the external boiler room. There are cast iron radiators and large bore pipework generally. Large bore pipework is likely to be slow response, and there are issues at pipe connections (see Appendix B, Fig. 9). There is a high level header tank in the nave. The gas meter is in the south aisle cupboard. There is electric water heating to servery and accessible WC. Continue to maintain heating equipment annually.
15.0	ELECTRICAL INSTALLATION
15.1	The electrical installation appears to be of different ages. The lighting circuits appear to be in MICC cable, with other circuits in surface mounted plastic conduit (see Appendix B, Fig. 11). The mix of tungsten/halogen lighting in the nave, chancel and aisles is less efficient than contemporary equivalents. More recent LED floodlights at chancel arch heads are not all working and high level installation means replacement needs specialist access equipment. There are plain fluorescent, surface mounted fittings elsewhere, and wall mounted circular fluorescents to the accessible WC.
15.2	Lightning conductor: There are two conductors to the bellcote top from ground level on the north side and these should be tested. Ensure that the Test Certificate is kept in the Church Log Book and re-test every five years.
15.3	The electricity supply is overhead with distribution board in the south porch
15.4	There is a sound reinforcing system and hearing loop installed, which is working satisfactorily.

15.5	The electrical installation should be tested each Quinquennial Period by a qualified electrician and a Certificate issued in accordance with NICEIC conditions.
16.0	FIRE PRECAUTIONS
16.1	There are general purpose, Class A powder fire extinguishers in aisles and the Lady Chapel. There is a 9L foam extinguisher in the western nave and a 9L water extinguisher in the foyer. This should be regularly tested according to manufacturer's directions and replaced as and when needed to maintain compliance.
17.0	DISABLED PROVISION
17.1	There is level access into the Church from the porch.
17.2	Internally, circulation is level for wheelchair users, including a fully accessible WC, though there is a single step up to the altar rail.
17.3	PCC should be aware of the requirements of the Equality Act 2010 and carry out a risk assessment.
18.0	BATS
18.1	There is no evidence of bat roosting in the Church and no reports of sightings.

CURTILAGE	
19.0	CHURCHYARD
19.1	The churchyard is extensive and open and has a large number of headstones and stone memorials to the east and north of the Church.
19.2	The site is ungated and a pedestrian through route. Extensive external lighting is in place.
19.3	Perimeter tarmac pathways and parking are in fair to good condition; however roof/surface water drainage routes may be compromised.
19.4	A noticeboard is located in the southeast side of the churchyard and appears to be intact and legible. Noticeboard includes copy of insurance cover (further copy to be kept in Log Book – see Item 22.1 below).
20.0	BOUNDARY WALLS AND GATES
20.1	The front road stone boundary wall is in good condition. Vehicular sight lines on exit are poor.
21.0	TREES AND PLANTING
21.1	The trees on the north side of the churchyard appear to be satisfactory.
21.2	Other decorative trees and shrubs in the churchyard are healthy and help punctuate the open space. However, there appears to be a pattern of progressive encroachment by self-sown planting on memorials, which will be destructive to headstones etc (see Appendix B, Fig. 17).
21.3	The precise extent of ownership and consecrated ground should be established to determine responsibility.
21.4	The churchyard is understood to be maintained by members of the congregation year-round. Ensure this continues and check for safe access.
22.0	LOG BOOK
22.1	There is an extensive Log Book of works since the previous quinquennial report included as Appendix D to this report. Log Book information should continue to be recorded. No details of insurance cover in Log Book, though cover is shown on Noticeboard (see Item 19.4 above). No certificates of electrical tests were available.
23.0	PREVIOUS INSPECTIONS
23.1	Report No. 1 dated December 2011 B3 Architecture Report No. 2 dated November 2016 B3 Architecture

URGENT WORKS REQUIRING IMMEDIATE ATTENTION - Category 1	Price
None	
WORK RECOMMENDED TO BE CARRIED OUT DURING NEXT 12 MONTHS - Category 2	
Inspection and overhaul of metal guttering, checking for water tightness, corrosion etc., and recoating.	£2,500.00
Clear all rainwater gullies	£100.00
Provide improved ground level rainwater removal (see Appendix B, Fig. 2-3)	£1,000.00
Remove external salts from east window frontage to south aisle (see Appendix B, Fig. 1)	£200.00
High level watertabling pointing	£500.00
Clean out downpipes annually and check the pipes are flowing	£200.00
Various church interior walls to be re-decorated, having removed affected plaster; replaster with breathable coating (see Appendix B, Fig. 5)	£5,000.00
Obtain heating test certificate; keep in Log Book and continue to maintain heaters annually	DIY
Keep lightning conductor test certificate in Log Book. Re-test every five years	£300.00
Electrical installation to be tested every five years and certificate kept in Log Book	£250.00
Firefighting equipment to be tested annually and certificate to be kept in Log Book	£100.00
PCC to carry out Equality Act (2010) risk assessment and review annually	£100.00
Church graveyard maintained by congregation; investigate separation of open/closed element	DIY
Continue to maintain Log Book annually	DIY
WORK RECOMMENDED TO BE CARRIED OUT DURING NEXT 5 YEARS - Category 3	
Comprehensive internal lighting replacement with low level LED units	£5,000.00
Comprehensive external lighting replacement with LED units (see Appendix B, Fig 4)	£2,000.00
Small area of masonry requires repointing where joints eroded	£3,000.00
WORK TO BE CONSIDERED BEYOND 5 YEARS - Category 4	
Amenity/graveyard area planting and boundary treatments/masterplan	£7,000.00
ITEMS RECOMMENDED TO IMPROVE ENERGY EFFICIENCY - Category 5	
Fan inverters at high level subject to testing/calculation/approval	£4,000.00
Replace current halogen lighting with LED alternatives	REFER TO ABOVE

NOTE

Churchwardens should be aware of their responsibility under the Care of Churches and Ecclesiastical Jurisdiction Measure 1991 which includes guidance to routine maintenance and inspection of Church property.

'A Guide to Church Inspection and Repair' published by the Council for the Care of Churches can be obtained from SPCK bookshops.

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APPENDIX A:

A. General:

This report is not a specification for the execution of works and must not be used as such. It is a general report only as required by the Inspection of Churches Measure 1955.

The Architect has indicated in it such maintenance items, if any, which may safely be carried out without professional supervision.

Conservation and repair of Churches is a highly specialised subject if work is to be carried out both aesthetically and technically in the best manner, without being wasteful in expenditure. It is, therefore, essential that every care is taken to ensure that no harm is done to the fabric or fittings and when the Parochial Church Council is ready to proceed it should instruct the Architect accordingly, when he will prepare specifications and schedules and arrange for the work to be carried out by an approved Contractor under his direction.

Costs on much of the work or repairing Churches cannot be accurately estimated because the full extent of damage is only revealed as work proceeds, but when the Architect has been instructed to prepare specifications, he can obtain either firm prices or considered approximate estimates, whichever may be appropriate.

The Architect will be glad to help the Parochial Church Council complete an appeal application to a charitable body if necessary, or to assist in applying for the essential Faculty or Archdeacon's Certificate.

B. Scope of Report:

The Report is based on the findings of an Inspection made from the ground and from other easily accessible points, or from ladders provided by the Parochial Church Council, to comply with the Diocesan Scheme under the Inspection of Churches Measure 1955.

It is emphasised that the inspection has been purely visual and that no enclosed spaces or inaccessible parts, such as boarded floors, roof spaces, or hidden timbers at wall heads have been opened up for inspection. Any part which may require further investigation is referred to in the appropriate section of this Report.

C. Cleaning of Gutters etc.:

The Parochial Church Council is strongly advised to enter into an annual contract with a local builder for cleaning out the gutters and downpipes twice a year.

D. Pointing and Masonry:

Wherever pointing is recommended it is absolutely essential that the procedure in item (a) of this appendix be adhered to as without proper supervision much harm can be done to the fabric by incorrect use of materials and techniques.

E. Heating Installation:

Subject to any comments to the contrary in Section 21.0 of this Report, the remarks in this Report are based only upon a superficial examination of the general condition of the heating installation, particularly in relation to fire hazards and sightliness. The installation and maintenance of any oil-fired equipment should be in accordance with current editions of the British Standards Code of Practice CD 3002 and British Standards BS799.

NB: A proper examination and test should be made of the heating apparatus by a qualified engineer each summer, prior to the start of the heating season and the report of such examination should be kept in the Church Log Book.

The Parochial Church Council is strongly advised to consider arranging a regular inspection contract.

Wherever practicable, subject to finances, it is recommended that the installation be run at a low setting throughout the week, as distinct from being 'ON' during services only, as constant warmth has a beneficial effect on the fabric, fittings and decorations.

F. Electrical Installation:

Any electrical installation should be tested every quinquennium and immediately if not done within the last five years (except as may be otherwise recommended in this Report) by a competent electrical engineer or by the Supply Authority and an insulation resistance and earth continuity test should be obtained on all circuits. The engineer's test report should be kept with the Church Log Book.

Where no recent report or certificate of inspection from a competent electrical engineer (one who is on the Roll of Approved Contractors issued by the National Inspection Council for Electrical Installation Contracting) is available, the comments in this Report are based upon a visual inspection made without instruments of the main switchboard and of sections of wiring selected at random. Electrical installation for lighting and heating, and other electrical circuits, should be installed and maintained in accordance with the current editions of the Institution of Electrical Engineers Rules and the more specific recommendations of the Council for the Care of Churches, contained in the publication "The Lighting of Churches".

G. Lightning Conductors:

As a defective conductor may attract lightning, the lightning conductor should be tested every quinquennium in accordance with the British Standard Code of Practice (current edition) by a competent electrical engineer and the record of the test results, conditions and recommendations should be kept with the Church Log Book.

Conductors on lofty spires and other not readily accessible positions should be closely examined every ten years, particularly the contact between the tape and the vane rod or finial. If the conductor tape is without a test clamp, one should be provided above ground level.

H. Maintenance between Inspections:

Although the Measure requires the Church to be inspected by an Architect every five years it should be realised that serious trouble may develop between surveys if minor defects such as displaced slates and leaking pipes are left unattended.

J. Fire Insurance:

The Parochial Church Council is advised that the fire insurance cover should be periodically reviewed to keep pace with the rising cost of repairs.

At least one fire extinguisher should be kept in an easily accessible position in the Church, together with an additional extinguisher of the foam or CO₂ type where heating apparatus is oil fired.

APPENDIX B: Photographic Survey:



Fig. 1 (IMG_8893)



Fig. 2 (IMG_7159)



Fig. 3 (IMG_8874)



Fig. 4 (IMG_8875)



Fig. 5 (IMG_8811)



Fig. 6 (IMG_8790)



Fig. 7 (IMG_8818)



Fig. 8 (IMG_8870)



Fig. 9 (IMG_8853)



Fig. 10 (IMG_8840)



Fig. 11 (IMG_8841)



Fig. 12 (IMG_8891)



Fig. 13 (IMG_8902)



Fig. 14 (IMG_8905)

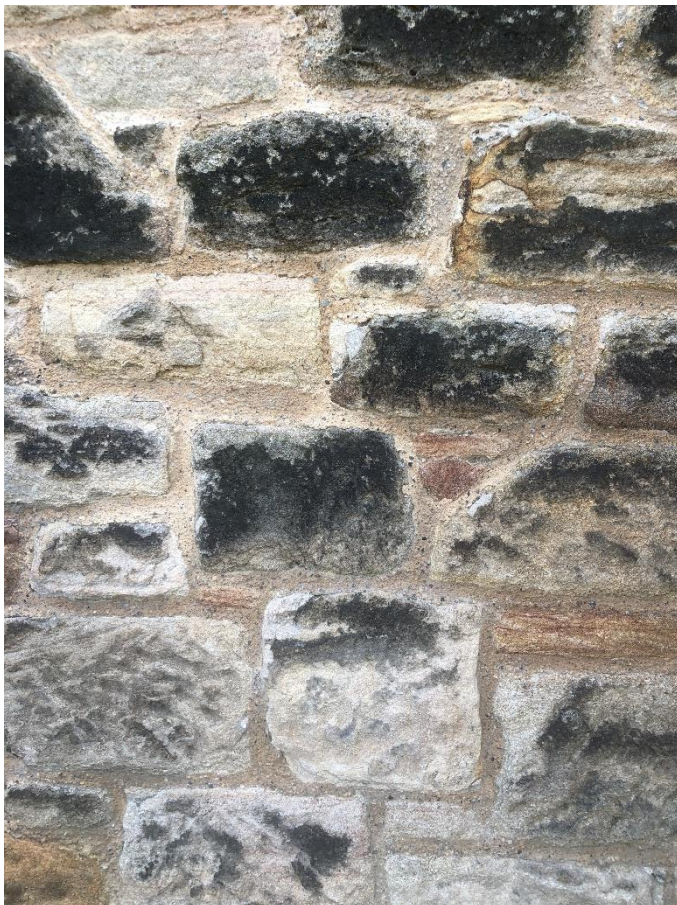


Fig. 15 (IMG_8869)

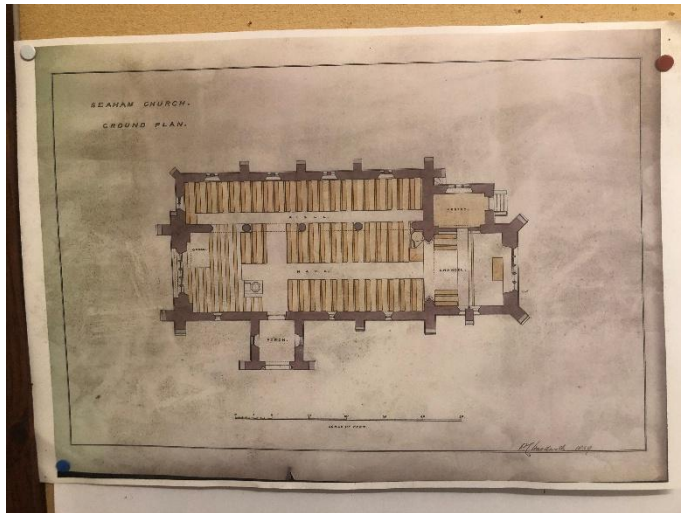


Fig. 16 (IMG_8856)



Fig. 17 (IMG_8879)

APPENDIX C: Listing Document

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: CHRIST CHURCH

List Entry Number: 1232272

Location CHRIST CHURCH, STATION ROAD

The building may lie within the boundary of more than one authority.

County: County Durham

District: County Durham

District Type: Unitary Authority

Parish: Seaham

National Grid Reference: NZ 41065 49827

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 14-Feb-1985

Date of most recent amendment: Not applicable to this List entry.

List Entry Description

Details

NZ 44 NW SEAHAM STATION ROAD (North side)

Parish church. 1857 by P.C.Hardwick for Frances Anne, Marchioness of Londonderry. South aisle added 1862. Snecked sandstone with ashlar dressings and steeply-pitched Welsh slate roofs. Aisled nave, chancel, south porch and north vestry. Gothic Revival style with Geometrical tracery.

Chamfered stone plinth. 4-bay nave has angle-buttressed west end with 5-light window in double-chamfered reveal. Tall, 2-stage bellcote with 3 lancets surmounted by cross. Aisles have groups of 2 and 3-light trefoil-headed lancets. Projecting gabled south porch has flanking stepped buttresses, doorway in pointed arch of 3 orders under hoodmould and group of 3 quatrefoils under pointed hoodmould in gable. Slightly lower, single-bay chancel has diagonally-buttressed east end with 5-light window under pointed hoodmould. Projecting north vestry has 3-light window with stepped, trefoil-headed lancets.

Interior: spacious; nave arcade has 3 chamfered, pointed arches on octagonal piers with moulded caps and bases, smaller pointed arch at west end; waggon roof to nave has closely spaced braces; tall double-chamfered, pointed chancel arch on 3 clustered columns with moulded semicircular-plan cap; panelled barrel roof to chancel.

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