

HOLY TRINITY CHURCH, MURTON

10-11 CHURCH LANE, MURTON, SEAHAM, CO. DURHAM, SR7 9RD

The Parish of Murton
Archdeaconry of Durham, Diocese of Durham
Incumbent: Vacant



Report prepared by

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1. EXECUTIVE SUMMARY

This inspection was carried out on 16th October 2025. The weather was predominately dry and overcast. This was the author's first Quinquennial inspection of the church.

The church remains in relatively good condition. The roof is in good condition, and the walls appear mainly sound and dry. There are areas internally of dampness showing efflorescence which may be linked to drainage externally, with vegetation growth in gutters and debris at base of downpipes preventing water from soaking away from building. The PPC are advised to clear drains and gutters to ensure they are free flowing and are not contributing to water ingress. Following this, if things don't improve it may be advisable to obtain a CCTV survey of the drainage system to see where the water is draining to, to ensure it is being directed away from the building.

2. PREVIOUS INSPECTIONS

The last inspection was carried out by the previous QI inspector Gordon Brewis on 30th September 2020. The following summary points were highlighted in the report:

- The church is in generally good condition and fairly well maintained.
- Only minor repairs are recommended.

3. WORKS COMPLETED SINCE THE PREVIOUS INSPECTION

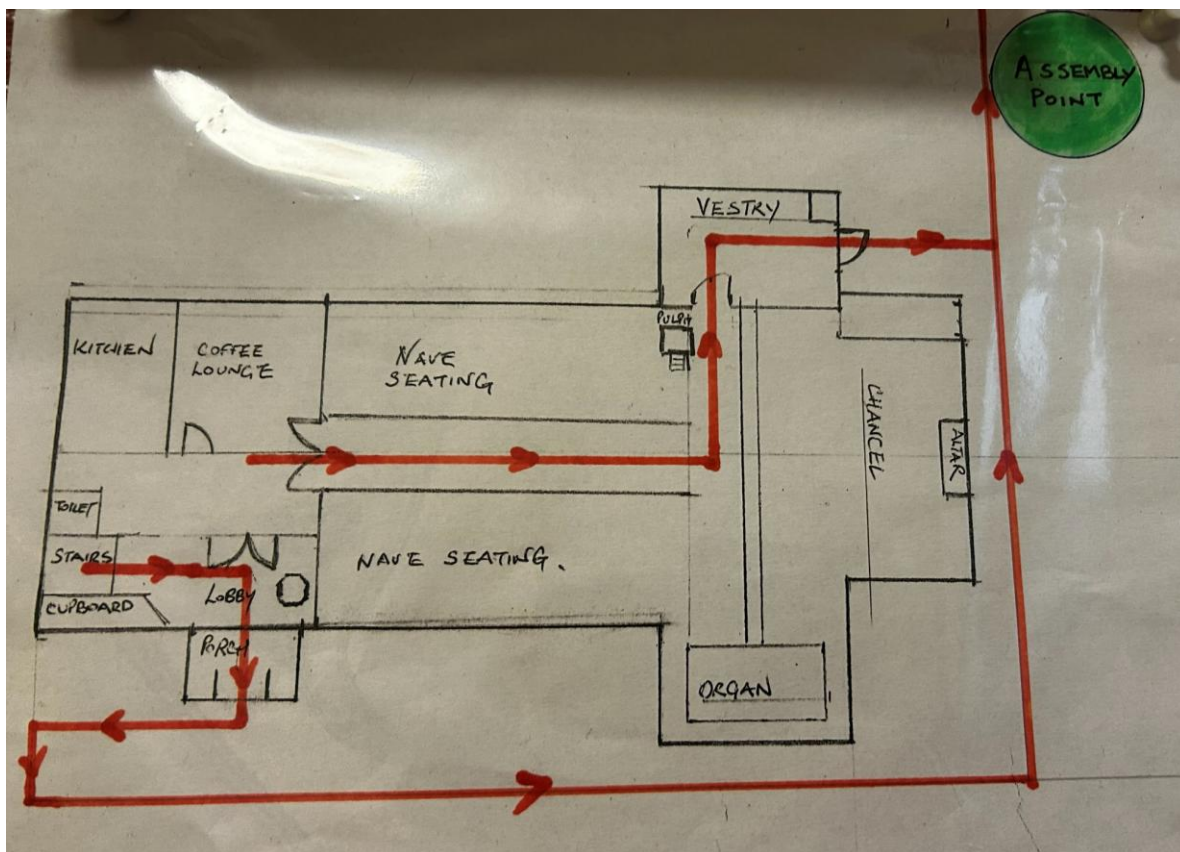
The Church Log was inspected and the following items of work are recorded since the previous Quinquennial Report:

- Electrical inspection – January 2021.
- Lightning conductor repairs and testing – January 2021.
- Gutters cleaned – April 2021
- Baxi combi boiler installed – June 2022
- Organ tuning – August 2022.
- Upstairs office painted and refurbished – September 2022
- Flooring in kitchen, coffee room, toilet and vestibule replaced – October 2022.
- Fire extinguishers tested – July 2023, June 2025
- Roof repairs carried out – November 2023
- Boiler service – December 2023
- Wrought iron gates and porch painted – March 2025
- Fire risk Assessment carried out – June 2025
- PAT testing – July 2025.

4. BRIEF DESCRIPTION

Holy Trinity Church, located off Church Lane in Murton, was built in 1876-77 and designed by C.Hodgson Fowler. A simple church in a prominent location, now Grade II listed. The chancel was added in 1886. The Church comprises of a Nave, Chancel, North and South Transepts and a porch. A square louvered bellcote with a steep spirelet is located at the west end of the roof. Walls consist of snecked rock faced sandstone with ashlar quoins and buttresses and roofs are steeply pitched with slate covering.

5. PLAN OF THE CHURCH



Plan of Church displayed in Lobby. Showing fire exits and assembly points.

6. LISTING STATUS

The Church has a Grade II Listing status,

Parish church. 1876-7 by C. Hodgson Fowler. Chancel added 1886. Snecked rock-faced sandstone with ashlar quoins and buttresses. Steeply pitched Welsh slate roofs. Nave, south porch, north and south transepts and chancel. Early English style with plate-tracery windows.

West end has diagonal buttresses and a pair of 2-light lancet windows separated by a stepped buttress. Quatrefoil in gable. South porch has half-timbered gable with bargeboards. Nave: 4 bays divided by stepped buttresses; each window has 3 stepped lancets in chamfered reveals under a pointed hoodmould. Single-bay north and south transepts have similar windows. Slightly lower and narrower single-bay chancel has angle buttresses and a similar large 3-light window in east end. Square louvred bellcote with steep spirelet at west end.

Interior: aisles were intended for the nave but only the north arcade was built with the north wall abutting directly against it. Arcade has 4 pointed arches dying into octagonal piers. Hammerbeam nave roof. Double-chamfered pointed chancel arch. 2 steps up to chancel which has a trefoil-headed piscina in south wall and a barrel roof. 2 good quality-stained glass windows: east window of 1905 by A.L. Moore of London; window dated 1927 in north wall of nave by A.L. and C.E. Moore of London.

This church occupies a prominent position and is listed partly for its townscape value.

7. MAINTENANCE RESPONSIBILITY

Responsibility for the maintenance of the church lies with the PCC. The churchyard is closed and Local Authority, Durham County Council are responsible for its maintenance and safety.

8. LIMITATIONS OF THE REPORT

This report has been prepared for the purposes of the Quinquennial Inspection only, and is not intended as a specification for any works required to the fabric of the Church or as a means to obtaining prices from builders.

The inspection was made from the ground externally, and from readily accessible floor levels internally. The inspection was visual only and involved no opening up of enclosed spaces or structures, even if further inspection or such spaces or structures may be recommended in the report.

The report is therefore restricted to the general condition of the building and its defects.

9. STRUCTURE OF THE REPORT

The inspection was made starting at the porch, and walking in a clockwise direction around the church. Consecutive circuits were made inspecting the building from the top downwards. The report is presented in the same manner, and describes the inspection using the following format:

- Component
- Description
- Condition
- Repair Needs

Repair needs are also summarised according to category denoting the urgency of the work required.

- A** Urgent, requiring immediate attention
- B** Requires attention within 12 months
- C** Requires attention within the next 18-24 months
- D** Requires attention within the Quinquennial period
- E** A desirable improvement with no timescale
- M** Routine maintenance (eg. clearing leaves from a gutter) This can be done without professional advice or a faculty

10. EXTERIOR**10.1. ROOF COVERINGS****Porch Roof**

	Description • Slate covering • Stone / Concrete ridge tiles with metal finial. • Lead look-a-like flashing into nave wall abutment.	
 	Condition • Ridge tiles look well bedded, possible recent work. Small section of ridge tile appears to missing at junction with nave wall. • Flashing appears sound. • Possible slate missing at base of west slope next to buttress on both sides.	

	Repair Needs Replace missing ridge tile. Replace missing slate adjacent to buttress on both sides of porch roof or provide soaker flashing to cover hole.	B B
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Nave Roof

	Description • Steeply pitched roof with Welsh blue slate coverings fixed directly to sarking boards. • Stone / Concrete ridge tiles • Lead flashings at gable upstands • Overhanging eaves with gutter brackets fixed to boards under slates. • Square louvred bellcote with steep spire to the west end.	
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	Condition • South slope generally fine, a few chipped slates. One slate at high level looks to have slipped. • Section of flashing to base of spire is missing on southern slope. • North slope has a few missing slates and 1 appears to have slipped near spire. • Chimney appears sound. • A few missing slates to corner of spire roof on east slope.	
	Repair Needs Flashing to be repaired at base of spire. Replace missing slates to spire roof. Replace missing slates and refix slipped slates to main Nave roof.	B B B

Vestry / North Transept Roof

	Description • Steeply pitched roof with Welsh blue slate coverings fixed directly to sarking boards. • Stone / Concrete ridge tiles • Lead flashings at gable upstands • Overhanging eaves with gutter brackets fixed to boards under slates.	
	Condition • Some moss growth on slates. • Ridge tiles appear well bedded. • Slates appear sound. With a few chipped corners.	
	Repair Needs • Monitor moss growth and remove with a wire brush if it starts to get excessive.	M

Organ / South Transept Roof

	Description • Steeply pitched roof with Welsh blue slate coverings fixed directly to sarking boards. • Stone / Concrete ridge tiles • Lead flashings at gable upstands • Overhanging eaves with gutter brackets fixed to boards under slates.	
	Condition • Roof covering is generally sound. • Flashing is sound. • Ridge tiles are well bedded.	
	Repair Needs None	

Chancel Roof

	Description • Steeply pitched with Welsh blue slate coverings fixed directly to sarking boards. • Concrete ridge tiles • Lead flashing to nave abutment and gable upstands. • Overhanging eaves with gutter brackets fixed to boards under slates	
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	Condition • Some moss growth on slates. • Slates appear sound and ridge tiles well bedded • Small area of bedding missing to ridge tile on south side.	
	Repair Needs • Monitor moss growth and remove with a wire brush if it starts to get excessive. • Repoint ridge tile.	M B

Boiler House Roof

	Description • Pitched slate lean-to roof. • Stick on non-lead flashing to wall abutments and edging.	
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	Condition • Moss growth on slates. • Some stick non lead on flashing appears well adhered and pointed.	
	Repair Needs • Monitor moss growth and remove with a wire brush if it starts to get excessive.	M

10.2. RAINWATER GOODS AND DISPOSAL SYSTEMS

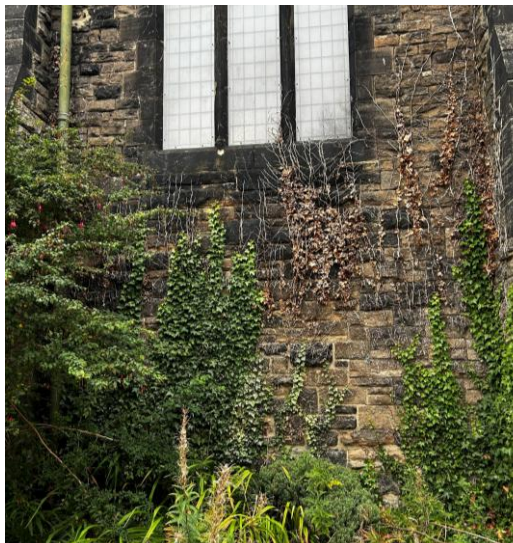
	Description Green painted cast iron half round gutters fixed on iron brackets fixed to the top of sarking boards. Rainwater down pipes are round cast iron, supported by iron brackets off external walls. <u>Nave Roof</u> 3 no. RWP outlets on southern side 3 no. RWP outlets on northern side <u>Chancel roof</u> 1 no. RWP outlet on northern side that discharges onto the boiler house roof. Then 1 no. RWP outlet from the boiler house roof. 1 no. RWP outlet on southern side. <u>Porch Roof</u> 1no. RWP outlet on east and 1no. outlet on west side. <u>South Transept Roof</u> 1no. RWP outlet on the east and 1no. on west. <u>North Transept Roof</u>	
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	1no. RWP outlet on the east and 1no. on west.	
	Condition • Gutters and downpipes are generally in good condition. • Paint peeling to downpipe to west of porch and at top around gutter. • Gutters to boiler house, north transept and chancel north have vegetation growth.	
	Repair Needs • Clean and remove vegetation from gutters at earliest opportunity. • Redecorate rainwater goods where paint is peeling.	M D

10.3. WALLS, BUTTRESSES AND CHIMNEYS

Nave

	Description • Snecked rock faced Sandstone, with ashlar copings to gables. • Pointing appears to be a cement-based mortar. • Stone chimney to east side of Nave.	
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 	Condition South Elevation • Stone and pointing are generally sound. • Some erosion at base to west of porch next to buttress. • Some areas of pointing missing around buttress ashlars. • Dark staining below windows to east of porch and to buttress ashlars. • Section immediately east of porch has ivy growing up wall. North Elevation • Stone and pointing are generally sound. • Some staining to window surrounds, buttress ashlars and below windows, particularly below the central window. West Gable • Stone & pointing are generally sound. • Some staining below windows, to surrounds and buttress ashlars. • Water table appears sound and well bedded.	
	Repair Needs • PCC should consider removing the ivy growth from the stone walls to avoid future structural or moisture issues within the wall. • Re-point areas of missing pointing to the buttresses, using a suitable lime mortar.	M D

Chancel

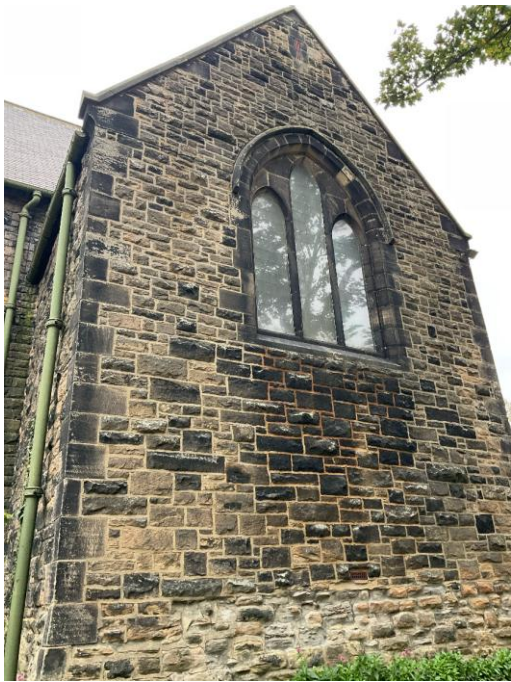
	Description • Snecked rock faced Sandstone, with ashlar copings to gables. • Pointing appears to be a cement-based mortar. • A dressed plinth cap is present	
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	Condition South elevation • Some erosion to stones to south wall around plinth stones. • Pointing appears sound. • Dark staining to buttress ashlar • Some damp around low level stone adjacent to downpipe. East Gable • Some dark staining to buttress ashlars and window surround and stones below window. • Stone & pointing generally sound. • Water table and cross finial appear sound. North Elevation. • Dark staining in corner abutment with nave wall. This is likely to be linked to blocked gutters and water run-off over time. • Stone and pointing appear sound.	
	Repair Needs None	

Vestry / North Transept

	Description • Snecked rock faced Sandstone, with ashlar copings to gables. • Pointing appears to be a cement-based mortar. • Stone water table to north gable wall.	
	Condition East Elevation • Some damp / efflorescence around vestry door surround. • Stone and pointing generally sound. North Gable • Joint in window cill stones have parted and missing pointing. • Dark staining to window surround and below window. • Stone generally sound and well pointed. • Gable water table well bedded and appears sound. West Elevation • Stone and pointing generally sound • Dark staining to quoins in corner.	
	Repair Needs Repoint open joint in window cill, with a suitable lime mortar.	D

Organ / South Transept

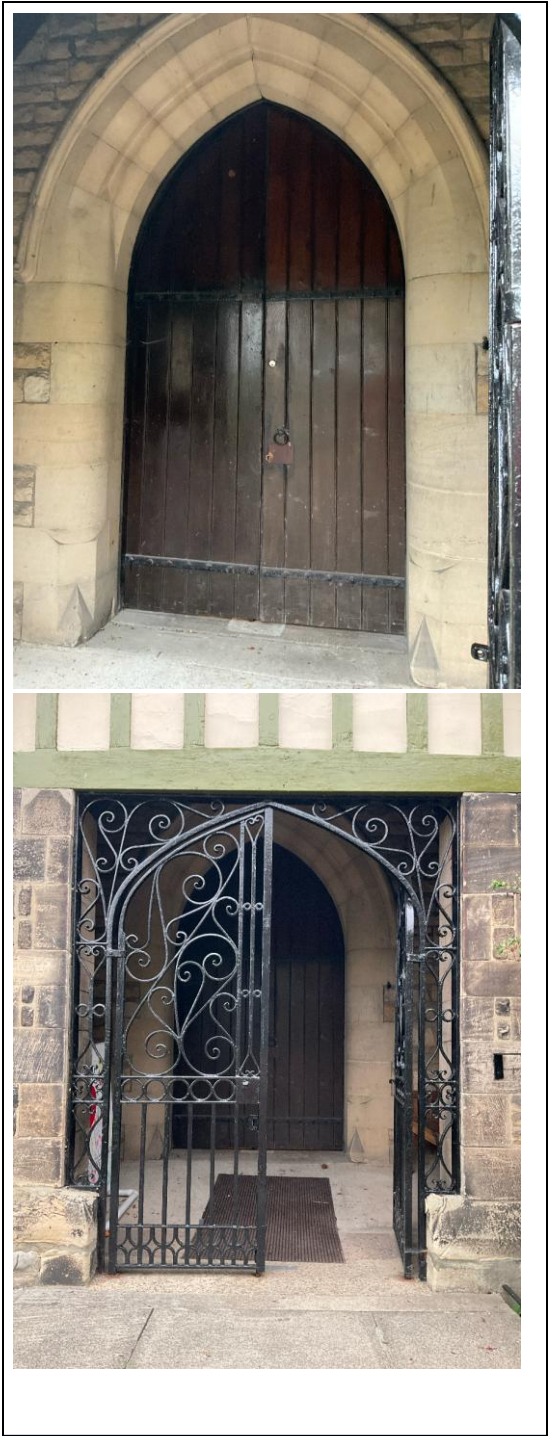
	Description • Snecked rock faced Sandstone, with ashlar copings to gables. • Pointing appears to be a cement-based mortar. • Stone water table to south gable wall.	
	Condition • Stone and pointing generally sound. • Dark staining below south gable window • Rust staining to east facade at high level.	
	Repair Needs None	

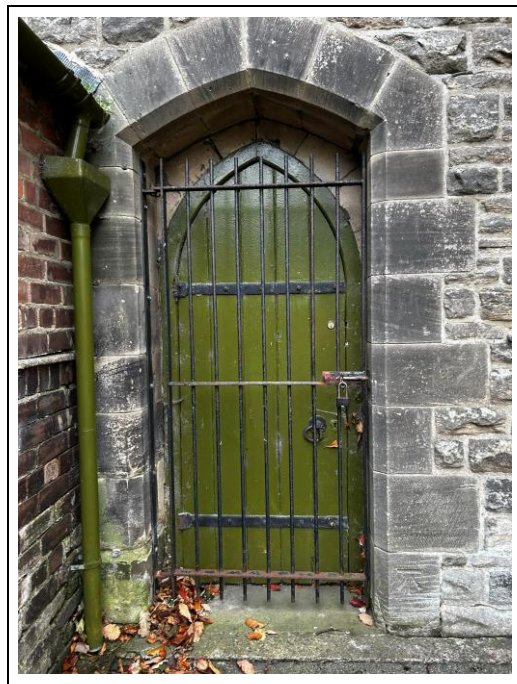
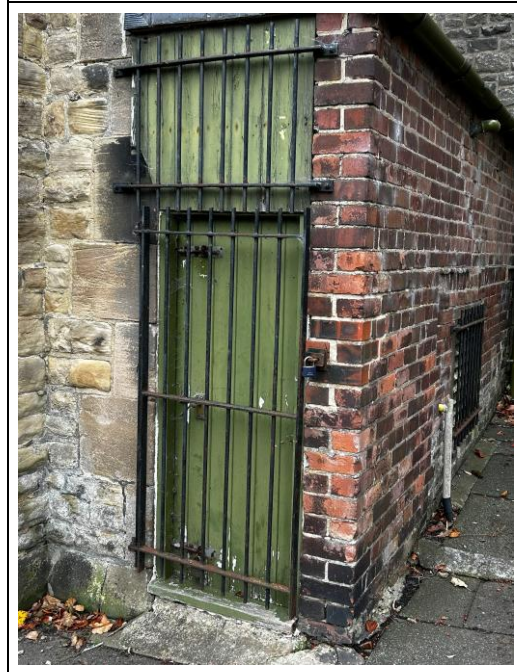
Porch

	Description • Snecked rock faced Sandstone, with ashlar copings to gables. • Pointing appears to be a cement-based mortar. • Half-timber gable with decorative timber bargeboards.	
	Condition Some small areas of pointing missing at low level. Stone generally fine. One area of erosion to low level stone to west of entrance gates.	
	Repair Needs Repoint areas of missing pointing with suitable lime mortar.	D

10.4. DOORS, WINDOWS AND SURROUNDS

Exterior Doors

	Description • Main entrance timber boarded double doors with lancet head, within external porch. Set within lancet arched stone surround. • Decorative Metal gates to outer opening of porch. • Boarded timber door with lancet head to vestry, with decorative hinges. And metal security gate fixed in front. • Boarded door to boiler house with metal security gate.	
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	Condition • Porch door and gates sound. • Vestry door is showing some signs of decay at base. This is likely due to the high moisture content in this area. • Paint finish to Boiler house door is eroding and peeling on door and cill timber.	
	Repair Needs • Repaint boiler house door and timber cill.	D

Windows

	Description • Stepped triple lancets in plate tracery with hood mould. • Polycarbonate covering present externally to all windows. • Single lancet window to east of south transept has been removed and replaced with a mortar render.	
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 	Condition • Areas of damage to stone surround on 2 windows east of porch. • Polycarbonate & glazing appears sound.	
	Repair Needs Monitor damaged stone for further decay.	M

10.5. BELOW GROUND DRAINAGE

	Description Drainage appears to be via soakaway. North side of Nave discharges into gullies.	
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	A manhole is present in southwest corner of site which appears to take the soil waste from toilet and kitchen.	
	Condition - Gullies are generally covered with leaves and debris. - There is noticeable damp around the vestry external door, which has a down pipe discharging below the ground floor level. It isn't evident whether this is a gully or where the water is discharging too, but there is a lot of leaf and debris at base, which could be contributing to the dampness in the wall. - Downpipe to east of south transept appears blocked and discharging onto concrete base. - Downpipes to the south façade of the Nave are surrounded by vegetation and inaccessible.	
	Repair Needs - Clear gullies of debris and leaves to keep drainage free flowing. - Clear vegetation from around bottom of downpipes to avoid blockages. - Consider addition of gullies to downpipes currently discharging straight onto concrete to avoid any future issues with water ingress / damp. - PCC to consider drainage CCTV investigation survey to establish where the water is discharging too.	M M E D

11. INTERIOR

11.1 ROOF, CEILING VOIDS AND VENTILATION

11.2 ROOF STRUCTURES AND CEILINGS

 Nave ceiling  Chancel ceiling	Description • The roof structure to Chancel and both North and South transepts are concealed above the barrel vaulted ceilings. • The chancel ceiling is barrel vaulted in a dark stained timber, • The nave trusses are partly visible, with small, curved braces and hammerbeams. Iron tie rods are present at alternate trusses. • Ceiling to the Nave has faceted painted panels between timber dark timber rib battens. • The transept ceilings are a similar style to the Nave, with painted panels between dark timber rib battens. • Coffee room, Kitchen, WC, porch and lobby all have plasterboard ceilings.
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	Condition Coffee room, kitchen, WC and porch and lobby areas – ceiling in good condition. Vestry - generally sound with one panel on western side with bubbling paint.	
	Repair Needs None	

11.3 INTERNAL WALLS



Southern Wall in Nave



Northern Wall in Nave

Description

- Nave & Chancel have plastered painted walls with exposed stone arched features.
- Northern wall of nave has 3 stone double chamfered pointed arches. The Southern wall has 1 stone arch forming south transept and 2 window openings with stone surrounds set in.
- Chancel arch is double chamfered pointed arch.
- Transept arches are similar design to chancel.
- Coffee room - plastered walls with some exposed stonework. Glazed window with timber frame between nave.
- Kitchen, WC & lobby and porch are all painted plasterboard.
- First Floor walls are painted plasterboard.



Condition

Nave

- Plaster is generally in good condition.
- There is a crack below the western most window on the south wall.
- Paint finish is cracking above radiators along southern side.
- Some hair line cracks in northern wall paint.
- Efflorescence and dampness present at base of arches along northern wall, particularly towards the eastern end. Could be linked to drainage externally.

Chancel

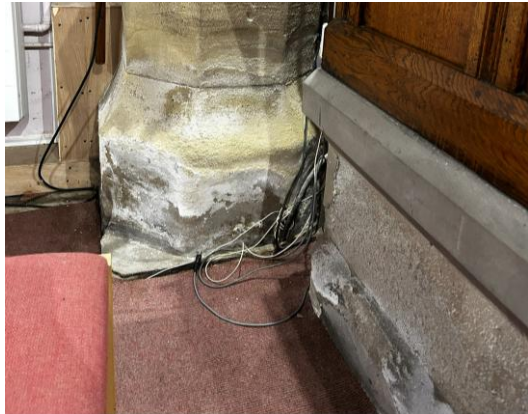
- Walls are generally fine.
- Some cracking on south wall near arch.
- Some cracking to paint either side of reredos.
- Some efflorescence and dampness present to base of Chancel arch on northern side.

Vestry

- Efflorescence present on stone door surround and decay to paintwork on wall adjacent to external door. Likely to be linked to drainage issues externally in this area.
- Some hairline cracking to north wall at high level.
- Some cracking / bubbling of paintwork to west wall.

Western accommodation

- Walls to porch, lobby, kitchen, WC and coffee room all generally sound. Some hairline cracks in kitchen between wall and ceiling.
- Walls to upstairs rooms are sound. Small crack above stone arch in gallery room.
- Walls within staircase are sound.

	Repair Needs Monitor dampness and efflorescence around the vestry door and northeast corner of the Nave.	M
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11.4 PARTITIONS, SCREENS, PANELLING, DOORS AND DOOR FURNITURE

Partitions, Screens and Panelling

	Description • Oak framed dado panelling to the chancel. • Lightweight timber clad screen forming the vestry with triple lancet windows. • A softwood framed, partially glazed screen forms more recent accommodation to west end, in similar pattern to dado panelling. • Dark oak screen sat in front of newer softwood screen.	
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	Condition • Panelling in chancel is sound. • Glazed softwood screen is sound. Some cobwebs. • Dark oak screen is sound. • Vestry boarded infill- generally sound some marks, chipping to paint at low level.	
	Repair Needs Repaint vestry panelling.	E

Interior Doors

	Description • Inner lobby doors are softwood framed, with laminated glass panels. • Self-closing fire doors with vision panels to rooms at ground and first floor. • Vertical softwood boarded door into vestry • Double Glazed timber framed doors between porch & lobby.	
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	Condition • Vestry inner door generally sound with chipped paint. • Self-closing fire door to office on first floor doesn't fully click shut. • Self-closing fire door on ground floor into the stair doesn't fully click shut. • Double Doors in lobby & nave don't fully click shut.	
	Repair Needs Self-closing fire doors that are not fully closing to be assessed in the first instance by a joiner to review if any adjustments to door closers or latches. If not consult with a specialist.	A

11.5 FLOORS AND PLATFORMS



Description

- Carpets present throughout the Nave, chancel and transepts
- Three step altar platform on solid base.
- Two step nave platform on suspended timber base.
- LVT flooring to western ground floor areas including coffee room, WC, Kitchen, lobby and porch.
- Carpeted timber framed staircase
- Timber upper floor with carpet flooring.
- Balustrade and handrail to staircase is untreated softwood.

	Condition • Carpets generally sound, some staining to lighter carpet areas under the seating. • LVT has been fairly recently laid and in good condition. • Stair carpet in good condition. • Stair balustrades & handrail all sound. • Upstairs carpets all fine.	
	Repair Needs None	

11.6 MONUMENTS AND TOMBS, FIXTURES, FITTINGS AND FURNITURE

	Description • Reredos with modest carved tracery and florets over a shelf behind a ply altar. • Simple light oak altar and credence table • Dark oak Bishop's chair 1938, • Prie-dieu • Two Pugin chairs • Carved 17th century chair • Timber pulpit on stone base in nave • Decorative carved timber eagle lectern. • Stone font with oak lid located in the lobby. Condition • Alter and reredos generally sound. Some water staining to alter cover fabric. • Stone base to pulpit showing efflorescence and dampness. • Chairs and prie-dieu appear sound. Repair Needs Monitor efflorescence and dampness to base of pulpit.	M
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11.7 ORGAN

	Description Two manual pipe organ with oak case, glass doors by Vincent 1884 Condition Good. Logbook shows organ was last tuned in 2022. Repair Needs Arrange organ service / tuning.	M
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12. CHURCHYARD AND ENVIRONS

**Description**

- Large sloping church yard, with the highest point to the north. Headstones in all parts. Many lowered for safety reasons.
- 5 Step and ramp access to entrance porch.
- Concrete slab paving to footpaths into the church grounds from south around the southern elevation of the building around the east elevation and then leading to the gates along the northern boundary.
- Small section of poured concrete to the base of the ramp, connecting back to the footpath leading to the steps.

West boundary

- A timber fence on top of stone wall. Timber gate access to adjacent property continued by stone wall.

North boundary

- A stone wall with brick top and copings. Brick area has been rendered. Wall is retaining the higher road level beyond.
- Some large trees close to boundary wall.

East boundary

- Densely wooded area with timber fence beyond to form rear boundary of adjacent properties.
- The southern half of the boundary is a stone wall with fencing above.

South boundary

- Partially close boarded fence with additional concrete posts for strength.
- Part of boundary that fronts main road is a stone wall retaining on the roadside to a higher graveyard level.



	Condition • Path adjacent to north transept has a line of slabs that have settled creating a lip between the adjacent slabs, which could become a potential trip hazard. • West boundary wall and fence appears sound. • North boundary has areas of missing render and brickwork is exposed. Otherwise appears well pointed and relatively stable. • East boundary wall and fence appears in reasonable condition. • South fence is sound. • Stone wall fronting road requires some repointing on the roadside.	
	Repair Needs • Depending on maintenance responsibility - Repoint stone wall on road side.	D

13. SERVICES

	Description <u>Heating System</u> • Separate gas fired boilers for church and western rooms. Pair of balanced flue boilers in vestry. • According to previous QQI heating to the Nave and Chancel was replaced in 2017 with fan convactor radiators.	
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Nave Lighting at high level



Fire extinguisher in first floor food bank



Lightning protection down steeple and northeast corner.

- Gas meter located in former boiler house.

Electrical System

- Meter, fuse and distribution boards are in the cupboard under the stairs. According to the previous QQI the installation appears to be 1970's with pull out fuses for church lights, power and outside lights. A further board of about 2000 with RCD and MCB protection.
- Metal halide floodlights to nave at high level.
- Surface mounted socket outlets to church.
- Low energy light fittings and recessed plastic sockets to rooms at west.
- Fluorescent lighting to vestry.

Fire Precautions

- Emergency lighting is provided to upper rooms, stairs and porch.
- Fire alarm panels located under the stairs.
- Smoke detector and break glass at stairs and porch.
- There are 6 Fire distinguishers located around the church at the following locations;
 - First floor food bank – 9 litre water
 - First floor - 2kg CO2
 - Porch – 6 litre foam
 - Rear nave - 2kg CO2
 - Vestry – 9 litre water
 - Organ - 2kg CO2
 - Kitchen has a fire blanket.

Lightning Conductor

- Previous QQI states; *Copper rod and conducting tape from steeple down to earth at north west corner. Protection at low level .*

Water supply and sanitary fittings

	• According to the previous QQI the mains cold water supply enters the old boiler room and runs along the north wall to the kitchen. • Kitchen includes a large catering double stainless-steel sink and inset stainless steel wash basin. • Hot water is provided via the combi boiler in the kitchen. • Accessible WC with baby change station.	
	Condition • An issue with the boiler has been reported at time of inspection. The PCC are dealing with the issue and have contacted a plumber. • Emergency light in coffee room is not working. PPC are aware and dealing with replacement bulb.	
	Repair Needs • Arrange for Boiler to be fixed. • Replace bulb in emergency light in coffee room	A A

14. SUMMARY OF REPAIRS

Please note that this list should not be read in isolation, but in the context of the detailed observations and recommendations contained in the report.

Budget costs given are indicative and for guidance only. A broad cost range has been suggested because the manner in which the works are procured will affect the likely cost. Detailed quotes should be sought by the PCC for financial planning and procuring repair works. The Author can assist with this process if required.

Category	Comment	Budget Cost
A Urgent, requiring immediate attention	• Arrange for Boiler to be fixed. • Replace bulb in emergency light in coffee room • Arrange for self-closing fire doors that are not fully closing to be assessed in the first instance by a joiner to review if any adjustments to door closers or latches if possible. If not consult with a specialist.	£500 To £1,500
B Requires attention within 12 months	• Replace missing ridge tile. • Replace missing slate adjacent to buttress on both sides of porch roof or provide soaker flashing to cover hole. • Flashing to be repaired at base of spire. • Replace missing slates to spire roof. • Replace missing slates and refix slipped slates to main Nave roof. • Repoint ridge tile on Chancel roof.	£2,500 To £5,000
C Requires attention within the next 18-24 months		0
D Requires attention within the QQ period	• Redecorate rainwater goods where paint is peeling. • Re-point areas of missing pointing to the buttresses, using a suitable lime mortar. • Repoint open joint in window cill, with a suitable lime mortar. • Repaint boiler house door and timber cill. • Repoint areas of missing pointing with suitable lime mortar. • PCC to consider drainage CCTV investigation survey to establish where the water is discharging too. • Depending on maintenance responsibility - Repoint stone wall on roadside.	£1,000 To £2,500

Category	Comment	Budget Cost
E A desirable improvement with no timescale	- Consider addition of gullies to downpipes currently discharging straight onto concrete to avoid any future issues with water ingress / damp. - Repaint vestry panelling.	Obtain Quote £500
M Routine maintenance	- Clear gullies of debris and leaves to keep drainage free flowing. - Clear vegetation from around bottom of downpipes to avoid blockages. - Arrange organ service / tuning. - Monitor efflorescence and dampness in vestry, Nave arches and pulpit base - Monitor damaged stone window surround for further decay - PCC should consider removing the ivy growth from the stone walls to avoid future structural or moisture issues within the wall. - Clean and remove vegetation from gutters at earliest opportunity. - Monitor moss growth and remove with a wire brush if it starts to get excessive.	Not applicable

15. MAINTENANCE PLAN

The following is a guide to guide to checks and routine maintenance.

- **REGULAR CHECKS**
 - Visual check of gutters, downpipes, gullies and roofs, especially when raining.
 - Clear snow
 - Keep soil and planting clear of rainwater gullies.
- **SPRING**
 - Destroy any vegetation growing up the walls or nearby.
 - Remove any moss growth from the top surfaces of the buttresses.
 - Arrange for boiler to be serviced.
 - Check for signs of insect infestation in roof timbers

- Arrange for gutters, downpipes, gullies and roofs to be cleared.
 - Arrange for the organ to be inspected and tuned.
- SUMMER
 - Cut grass in churchyard at regular intervals (by local authority)
 - Cut back any ivy on trees
 - Cut back any vegetation growing on churchyard boundary walls
 - Ensure all low-level ventilation bricks and gullies are kept free from vegetation.
 - Inspect belcote and roofs, making sure that they're in good order, watertight, and with clear gutters.
 - Re-check heating installation before Autumn.
- AUTUMN
 - Arrange for gutters, downpipes, gullies and roofs to be cleared.
 - Remove moss growth from the top surfaces of the buttresses.
- ANNUALLY
 - Carry out formal inspection of the church and its furnishings
 - Arrange for servicing of fire extinguishers
- EVERY FIVE YEARS
 - Remember that the quinquennial inspection is due.
 - Arrange for the electrical system to be tested.
 - Repaint the churchyard railings.

16. ADVICE TO THE PCC

- This is a summary report; it is not a specification for the execution of the work and must not be used as such.
- The professional adviser is willing to advise the PCC on implementing the recommendations and will if so requested prepare a specification, seek tenders and oversee the repairs.
- The PCC is advised to seek ongoing advice from the professional adviser on problems with the building.
- Contact should be made with the insurance company to ensure that cover is adequate.
- The repairs recommended in the report will (with the exception of some minor maintenance items) be subject to the faculty jurisdiction. Guidance on whether particular work is subject to faculty can be obtained from the DAC.
- **Fire Safety Advice** can be found at:

<http://www.churchcare.co.uk/churches/guidance-advice/looking-after-your-church/health-safety-security/fire-precautions>

- **Electrical Installation**

Any electrical installation should be tested at least every five years in accordance with the recommendations of the Church Buildings Council. The inspection and testing should be carried out in accordance with IEE Regulations, Guidance Note No. 3, and an inspection certificate obtained in every case. The certificate should be kept with the church log book.

- **Heating Installation**

A proper examination and test should be made of the heating system by a qualified engineer each summer before the heating season begins, and the report kept with the Church Log Book.

- **Lightning Protection**

Any lightning conductor should be tested at least every five years in accordance with the current British Standard by a competent engineer. The record of the test results and conditions should be kept with the Church Log Book.

- **Asbestos**

A suitable and sufficient assessment should be made as to whether asbestos is or is liable to be present in the premises. Further details on making an assessment are available on:

<http://www.churchcare.co.uk/churches/guidanceadvice/looking-after-your-church/health-safety-security/asbestos>

The assessment has not been covered by this report and it is the duty of the PCC to ensure that this has been, or is carried out.

- **Equality Act**

The PCC should ensure that they have understood their responsibilities under the Equality Act 2010. Further details and guidance are available at

<http://www.churchcare.co.uk/churches/open-sustainable/welcomingpeople/accessibility>

- **Health and Safety**

Overall responsibility for the health and safety of the church and churchyard lies with the incumbent and PCC. This report may identify areas of risk as part of the inspection but this does not equate to a thorough and complete risk assessment by the PCC of the building and churchyard.

- **Bats and other protected species**

The PCC should be aware of its responsibilities where protected species are present in a church. Guidance can be found at:

<http://www.churchcare.co.uk/shrinking-the-footprint/taking-action/wildlife/bats>

- **Sustainable buildings**

A quinquennial inspection is a good opportunity for a PCC to reflect on the sustainability of the building and its use. This may include adapting the building to allow greater community use, considering how to increase resilience in the face of predicted changes to the climate, as well as increasing energy efficiency and considering other environmental issues. Further guidance is available on:

<http://www.churchcare.co.uk/churches/open-sustainable>, and

<http://www.churchcare.co.uk/shrinking-the-footprint>